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February 14, 2022

Via E-Mail: Sandra Papa <spapa@fhboro.net>

Ms. Sandra Papa
Zoning/Planning Board Secretary
Borough of Fair Haven, 748 River Road
Fair Haven, New Jersey 07704

RE: Fair Haven Historic Preservation
Aakash Dheri & Rebecca Pleat
Block 49, Lot 18
39 DeNormandie Avenue, Fair Haven, New Jersey

Dear Ms. Papa:

Please be advised that the undersigned represent the Applicants/Owners, Aakash Dheri and Rebecca Pleat, with regard to the above matter.

Enclosed please find the following:

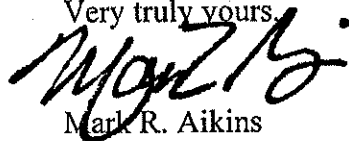
- Original + 9 copies of Application
- 10 sets of concept and elevations prepared by Anthony M. Condouris, Architect
- Photographs

Kindly confirm that this matter will be scheduled for an informal presentation before the Historic Preservation Commission meeting on February 24, 2022 at 7:00 p.m.

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Should you require additional information and/or documentation, please do not hesitate to contact our office. Thank you.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Mark R. Aikins', written in a cursive style.

Mark R. Aikins

MRA:mb

Enclosures

cc: Mr. & Mrs. A. Pleat, w/o/encs. (via e-mail)
Anthony M. Condouris, Architect (via e-mail)

Application to the Fair Haven Historic Preservation Commission
Fair Haven, New Jersey

Date: February 14, 2022

Property Address: 39 DeNormandie Avenue Block: 49 Lot: 18

Applicant Aakash & Rebecca Pleat Telephone: (day) c/o 732-280-2606
(evening) Same

Address: c/o Mark R. Aikins, Esq., 3350 Rt. 138, Bldg. 1,
Suite 113, Wall, New Jersey 07719

Relationship of applicant to property (tenant, owner, contract purchaser) Owner

Project to be reviewed: (Provide general description of each modification or improvement)

PLEASE SEE ATTACHED

PLEASE NOTE

This application must be submitted to the Construction Code Official and the Historic Preservation Commission by delivering it to Fair Haven Borough Hall no later than 4:00 p.m. ten (10) days before the meeting so that it may be listed on the agenda.

- Meetings of the Historic Preservation Commission are held on the fourth Tuesday of each month unless otherwise noted.
- Drawings and sketches must be presented along with this application for all proposed construction, changes or signs.
- Photos of present conditions of all facades seen from the street must also be presented.
- Failure to provide drawings, sketches or photos with this form will result in this application not being heard.
- Applicant must sign this application.

CERTIFICATION

I hereby certify that either I personally or my legally empowered representative will attend the meeting of the Historic Preservation Commission on February 24, 2022 (date) at 7:00 p.m. in Borough Hall, Fair Haven.

Mark R. Aikins, Attorney for Owners/Applicants

Signed: 
(Applicant) Aakash Dheri & Rebecca Pleat

ADDENDUM TO APPLICATION

BLOCK 49, LOT 18

39 DeNORMANDIE AVENUE

BOROUGH OF FAIR HAVEN

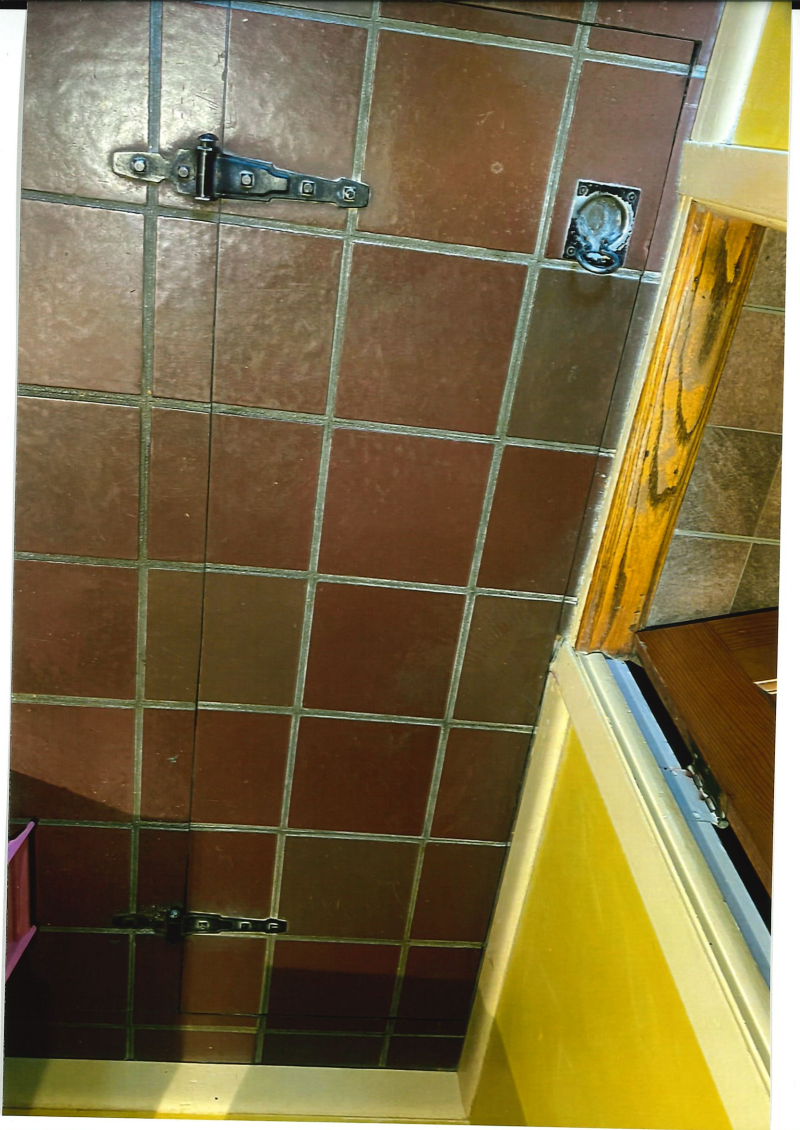
The original façade of building will remain along the front and approximately 2 feet toward the rear on each side.

A new home will be constructed behind, and to the south side of the existing façade with an entirely new foundation.

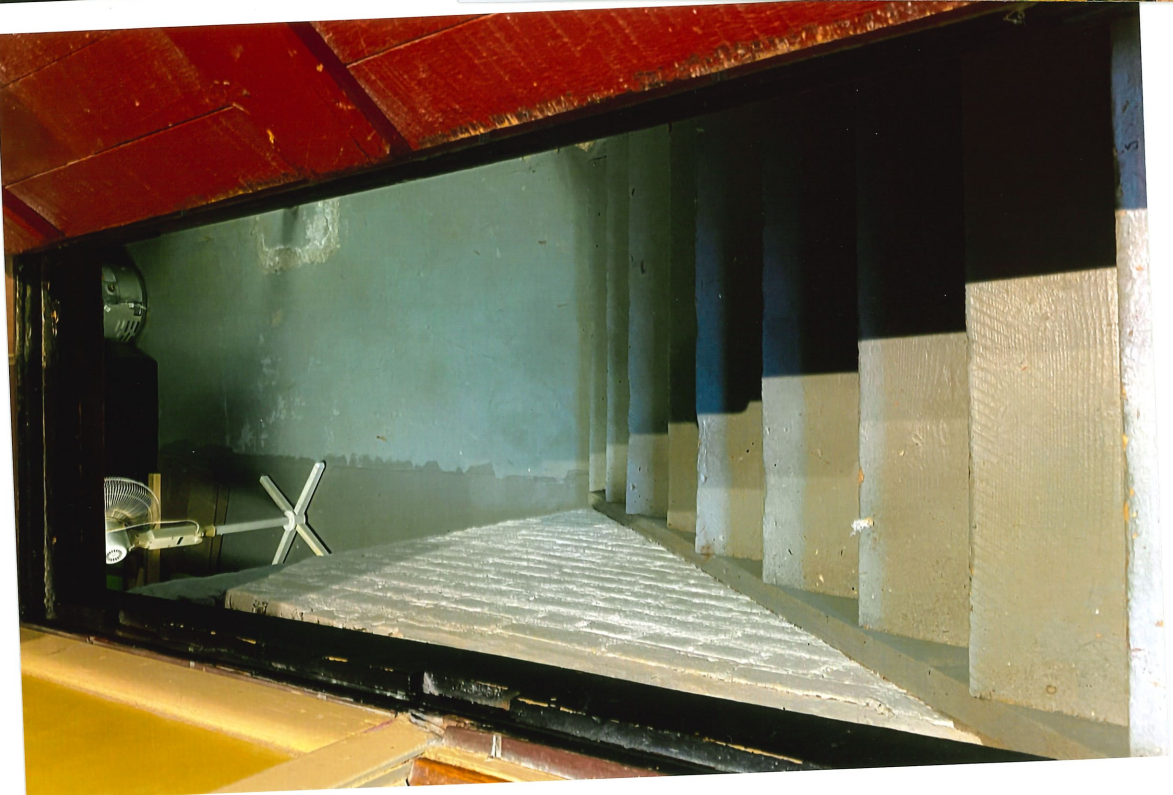
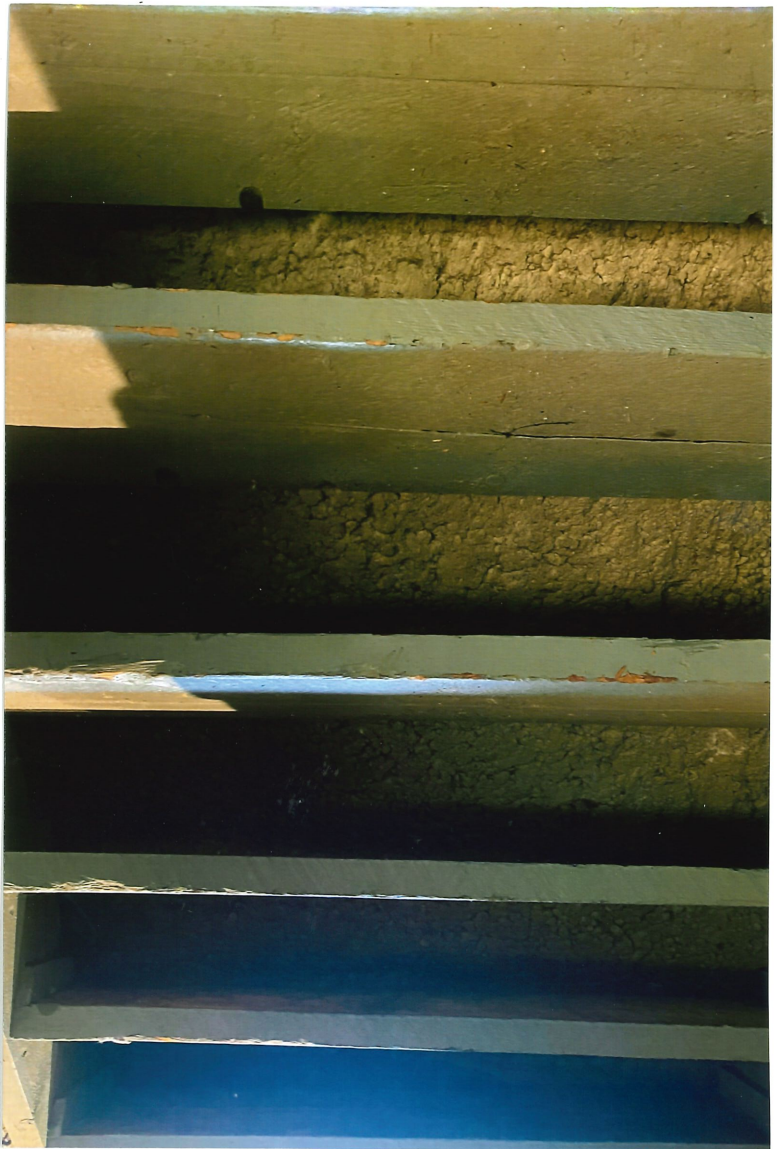
The foundation below the existing façade will remain but will be abandoned and most likely filled in.

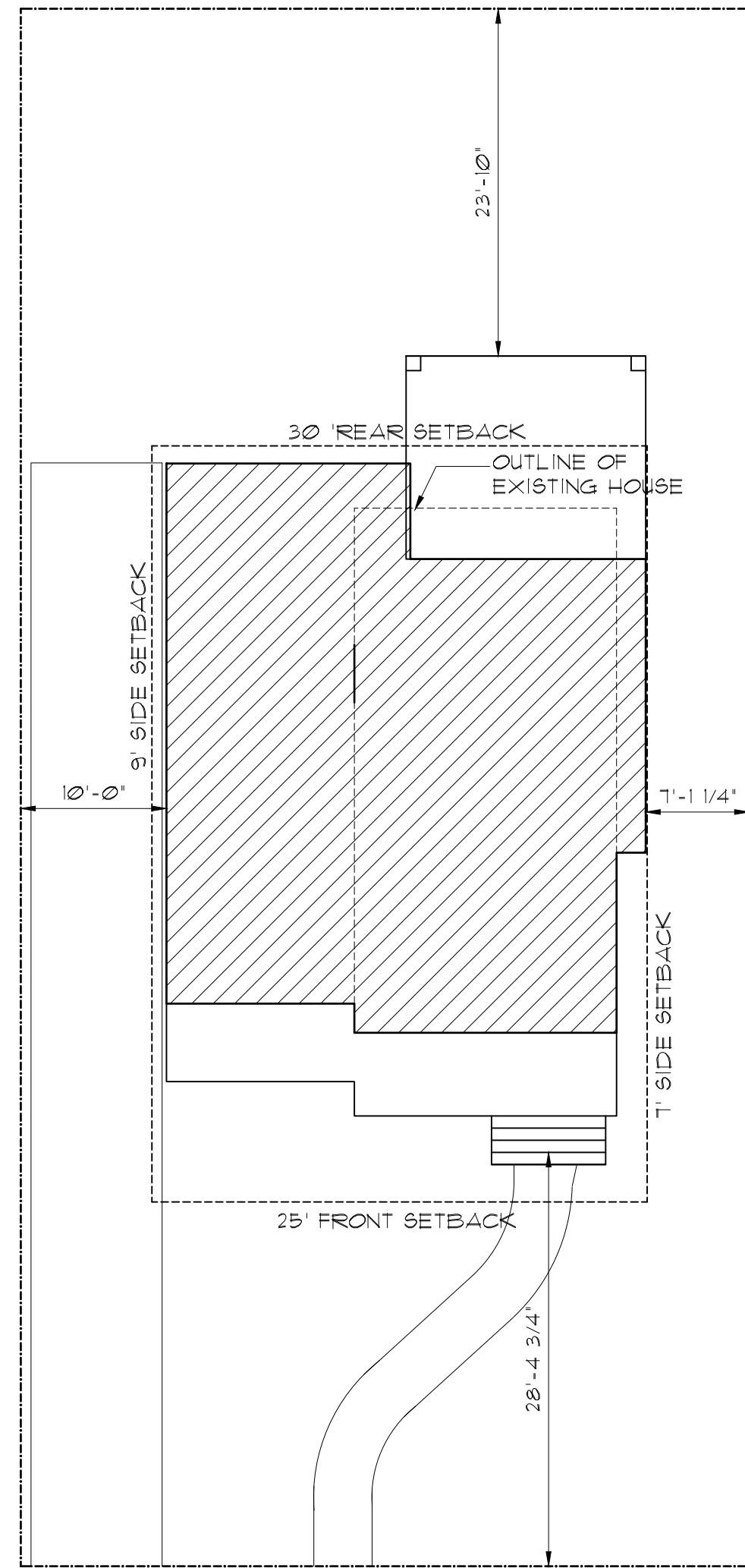
To alleviate the dysfunctional location of the existing front door, the new portion of the home to the west will receive a second porch and entrance with direct access to the driveway.

Efforts will be made to keep the existing porch intact, but it may be necessary to replace the flooring and/or perform additional repairs.

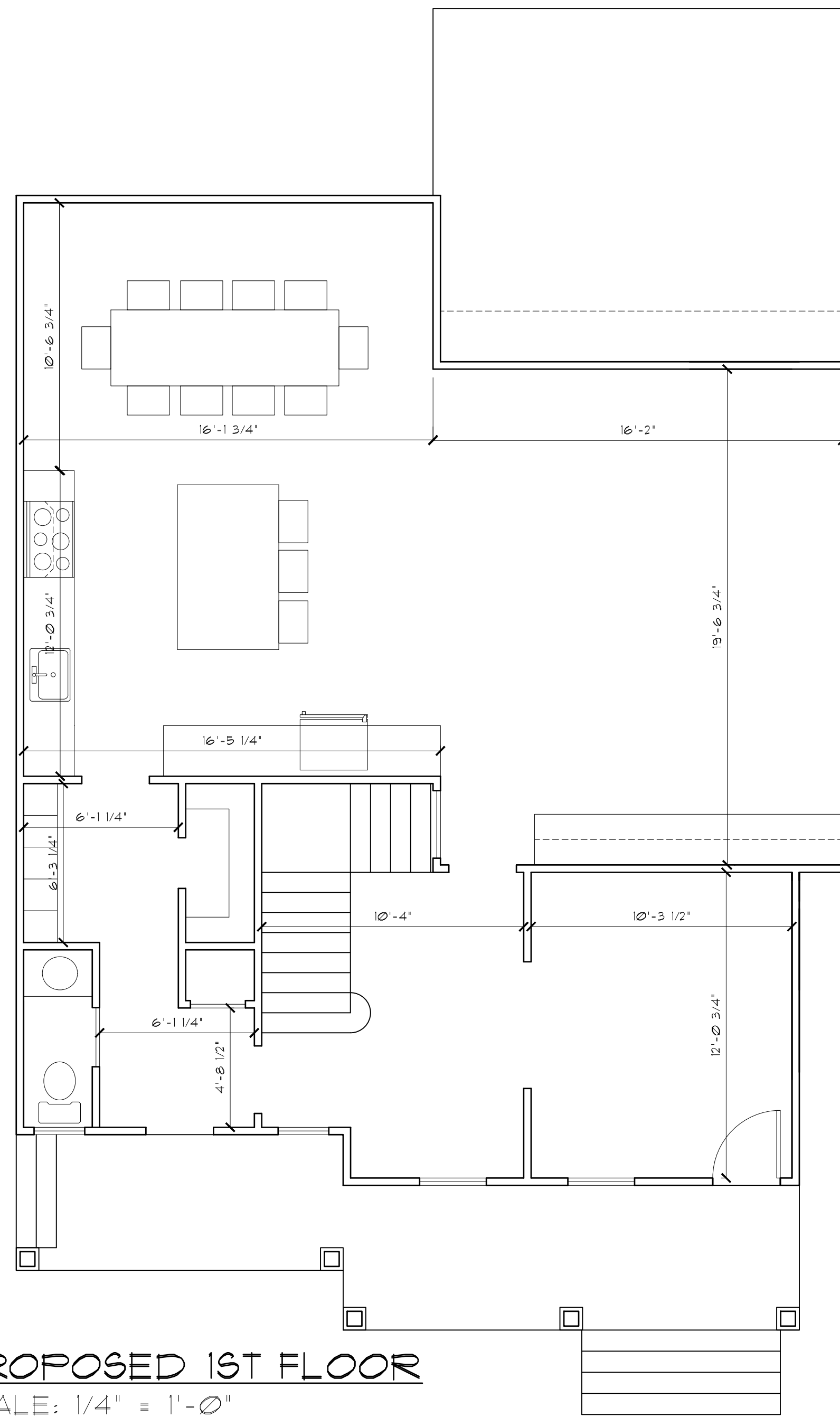




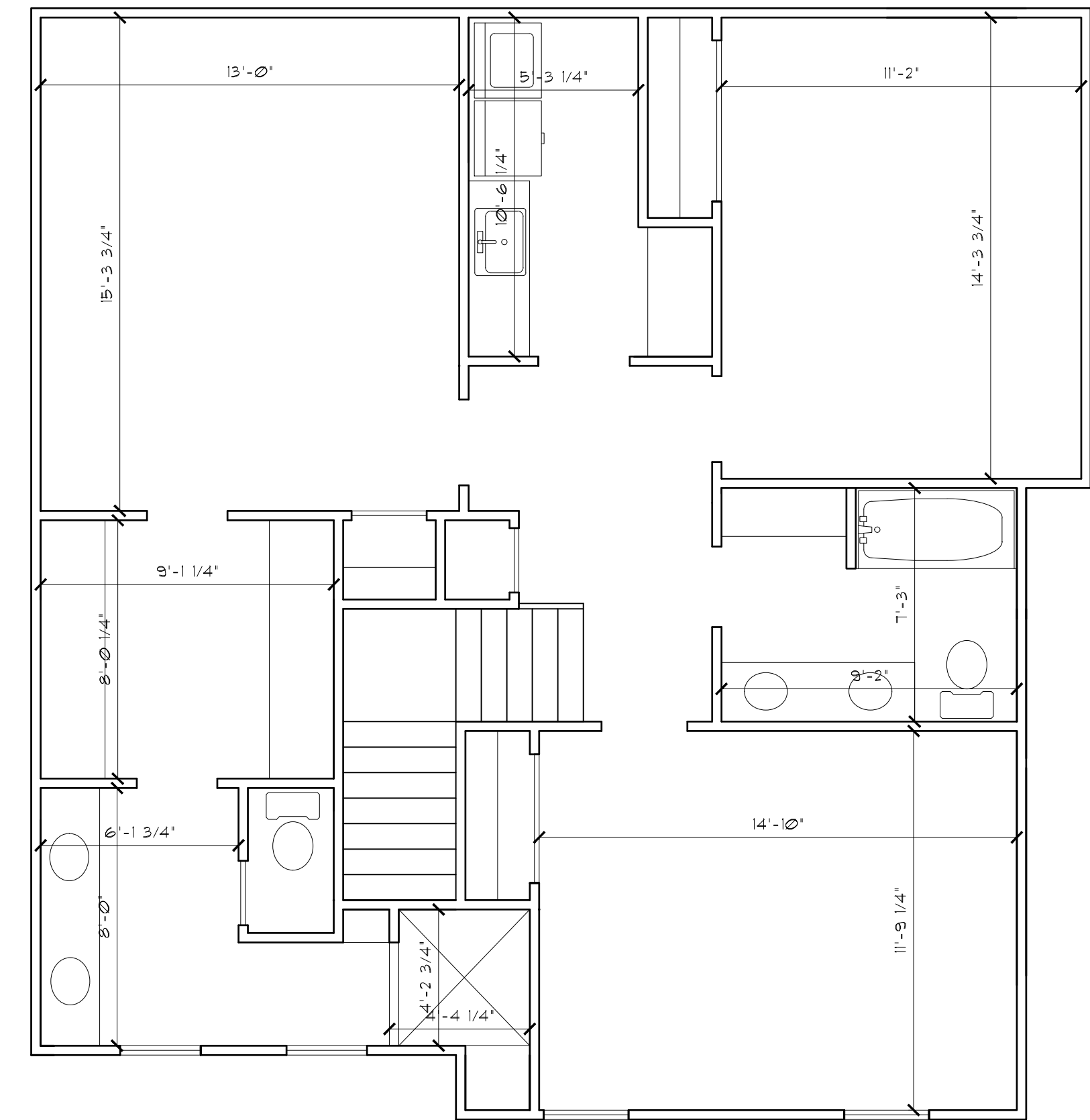




SITE PLAN
SCALE: 1" = 10'



PROPOSED 1ST FLOOR
SCALE: 1/4" = 1'-0"



PROPOSED 2ND FLOOR
SCALE: 1/4" = 1'-0"

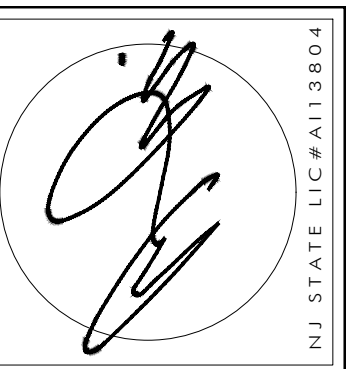


PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



ANTHONY M. CONDOURIS
ARCHITECT
20 BINGHAM AVENUE, RUMSON NJ 07760
Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcaarchitect.com

| REVISIONS | DATE |
|-----------|------|
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|------------|---------------------------------------|
| CLIENT | PLEAT RESIDENCE |
| ADDRESS | 39 DE NORMANDIE FAIR HAVEN NEW JERSEY |
| JOB NUMBER | 21-111 |
| BLOCK | X |
| LOT | X |

| | |
|-----------|------------|
| DATE | 2-11-22 |
| DRAWN BY | TC |
| SHEET NO. | A-1 |