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June 17, 2022

HAND DELIVERY

Ms. Sandra Papa Zoning/Planning Board Secretary Borough of Fair Haven,748 River Road Fair Haven, New Jersey 07704

RE: Fair Haven Historic Preservation

Aakash Dheri & Rebecca Pleat

Block 49, Lot 18 (39 DeNormandie Avenue)

Dear Ms. Papa:

Pursuant to the above matter, enclosed please find the following documents:

- Original + 9 copies of Application
- 10 sets of revised concept and elevation plans prepared by Anthony M. Condouris, Architect
- 10 sets of colored Photographs, consisting of 8 sheets
- 10 sets of report prepared by Mark Alexander Pavliv, AIA, dated June 3, 2022

Kindly confirm that this matter will be scheduled for a formal presentation before The Historic Preservation Commission Board meeting on June 18, 2022 at 7:00 p.m.

Thank you.

Very truly yours

Mark R. Aikins

MRA:mb
Enclosures

cc: Mr. & Mrs. A. Pleat, w/o/encs. (via e-mail)

Anthony M. Condouris, Architect (via e-mail)

Ms. Sandra Papa, Board Secretary, w/encs. (via e-mail)

Application to the Fair Haven Historic Preservation Commission

Fair Haven, New Jersey

47.0000		
Date: <u>June 17, 2022</u>		
Property Address: 39 DeNormandie Avenue	Block: 49	Lot: 18
Applicant Aakash Dheri & Rebecca Pleat Address: c/o Mark R. Aikins, Esquire	Telephone: (day) <u>c/o 732-2</u> (evening)	80-2606
3350 Route 138, Building 1, Suite 113, Wall, New Jersey 07719		
Relationship of applicant to property (tenant, owner, contract purchaser) Owners		
Project to be reviewed: (Provide general description of each modification or improvement) PLEASE SEE ATTACHMENTS		
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PLEASE NOTE		
This application <u>must</u> be submitted to the Construction Code C by delivering it to Fair Haven Borough Hall no later than 4:00 p. may be listed on the agenda.		
 Meetings of the Historic Preservation Commission are lunless otherwise noted. 	held on the fourth Tuesday of e	each month
 Drawings and sketches must be presented along with t changes or signs. 	his application for all proposed	construction,
 Photos of present conditions of all facades seen from the Failure to provide drawings, sketches or photos with the 		
heard.Applicant must sign this application.		

CERTIFICATION

I hereby certify that either I personally or my legally empowered representative will attend the meeting of the Historic Preservation Commission on JUNE 28, 2022 (date) at 7:00 p.m. in Borough Hall, Fair Haven.

(Applicant)
Mark R. Aikins, Esquire, Attorney for Owners/Applicants,
Aakash & Rebecca Pleat

Mark Alexander Pavliv, AIA

The Architect's Studio - Architecture, Historic Restoration & Renovation 77 Main Avenue, Suite 101 Ocean Grove, New Jersey 07756 (732) 776-8777 springlakearchitect.com

June 3, 2022

Memo to:

Project File

Copied:

Aakash Dheri/Rebecca Pleat (Owners), Mark Akins (Legal Counsel),

Anthony Condouris (Architect of Record)

Project:

39 De Normandie Avenue, Fair Haven, New Jersey

Re:

Proposed Alteration, Renovation, Addition

Overview:

The Owners of the above referenced property have requested an architectural review and assessment of the potential demolition and proposed alteration and addition to the existing single-family dwelling located at 39 De Normandie Avenue in the Borough of Fair Haven, New Jersey. Professional opinions rendered herein are based upon both observation of found conditions and review of all available documents, in addition to the over 50 years of professional practice in the field of landmark restoration and stewardship of historically significant architecture and sites. Opinions and recommendations are from a historic preservation and historic architectural and related engineering perspective.

Various documents and resources were accessed for the purposes of this report including Borough tax records, the Architect's proposed architectural plans, a recent structural report, and various items of correspondence, including minutes from previous meetings.

One of the documents provided was a structural report prepared by a AWZ Engineering, dated March 30, 2022 which identified the existing structure's noncompliance with current construction trade standards, practices and code requirements, which is not uncommon for any structure of this vintage.

The structural engineer's opinion did not address the value or merits of the dwelling's significance within the Historic District's overall fabric. The engineer's report did correctly focus upon other important issues, including construction safety, practicality of repairs and general feasibility for retention of all or part of the structure.

Review and Assessment of Findings:

The property in question is located within the designated local Historic District, and the structure itself can be categorized as a "Folk Victorian" which is often labeled as American Colonial Style. The "Fold Victorian" is the most basic form of a Queen Anne style home but without the commonly associated ornate towers, turrets, cross gables, variety of window grilles patterns, and articulated siding details. Tax records indicate a first built date of 1903, however, the dwelling was reported to possibly have had an unconfirmed slightly earlier date.

Examination of existing conditions uncovered cause for structural concern in that dwelling has significantly sagged and failed with noted instability and aged deflecting framing. Deficiencies is framing appear to have been compounded by the deteriorating foundation condition and unknown footing type, if any.

The onsite inspection revealed "balloon wood framing" without any exterior board sheathing. The original 4 inch exposure exterior wood clap board was nailed directly onto the exterior wall framing. The wood clap board was observed to have been compromised when modern era furring strips, and vinyl siding were applied and nailed directly into the brittle wood siding boards. The exposed exterior balloon studs were also noted to have split in several instances, which contributes to compromising structural integrity. Examination of the open air crawl space beneath the front section of the dwelling revealed significant floor joist issues due to the unprotected conditions, moisture and evidence of insect infestation.

Balloon wood framing, typical of that era, can be especially unstable when perpendicular supporting walls and interior plaster and lath, and layers of modern era siding are removed. The structural integrity of this wood framed dwelling has been clearly impacted by time, water penetration, general foundation failure, and exposure from the elements from the damp earth below its floor framing. Also, despite evidence of mortar repointing and parging of the brick masonry foundation, settlement and cracking of the brick was observed at the 2-story foundation perimeter. The rear 1-story appears to have been a later addition with concrete block foundation wall construction.

In theory, most defective structures can be repaired, reinforced, reframed or reinforced with an adequate budget and added engineering, however, when wood framed structures reach a point of an "end of life span" --- replacement with new construction is typically considered when there is no viable option for restoration nor repair.

Landmark and historic structures are reconstructed when no other option is feasible. The <u>critical factor in any reconstruction</u> of a historically significant structure is that the existing conditions are well documented and any proposed reconstruction <u>accurately</u> replicates the key dimensional form(s), articulations, patterns, and textural aspects.

Replication of such structures should include its most notable building forms and dynamics. In this specific case, the street facing front façade and covered porch are the most notable forms and should be documented in scaled and dimensioned front and partial side elevation drawings. Included in such drawings should be a bench mark finished floor elevation reference and relationship to immediate grade, ridge height, roof pitch, overhang details, window positioning, and masonry piers.

The retention of the existing front façade is impractical, and in fact dangerous, from an engineering perspective. Furthermore, renovation of the front faced is ill advised due to the condition of exposed existing framing, lack of structural sheathing and most notably – absence of a vapor barrier, an inability to introduce one, as required by Construction Code.

Generally, reconstruction should only be considered when repair, restoration, renovation and rehabilitation are no longer available options. This Guideline Standard is clearly set forth and well established in the <u>US Department of Interior Secretary Standards for Historic Rehabilitation</u> which serves as the universal guide to all federal, state and local authorities with oversight of designated historic structures or sites.

In reviewing the Borough's HPC criteria for evaluation of applications regarding historic structures, I have noted several items. First, the Guidelines are very general and though offered with best intentions, the criteria in evaluation of projects may more readily apply to new construction, rather than providing direction for restoration or preservation.

Second, greater specificity in Architectural Guidelines usually provides a clearer measure and evaluation path for both applicants and reviewers. There are no references to architectural style nor period, appropriate detailing with regard trim, color, materials, dimensional qualities or window and door patterns... such evaluation criterion is always critical to the end result.

In my experience, there are generally five (5) basic elements in any HPC evaluation:

- -Identification of Historic Style and Period
- -Identification of Historic Significance of the Structure or Site;
- -Identification of any Materials or Details that cannot be easily be reproduced;
- -Restoration or Application of materials consistent with Original, when known;
- -Retention of the "Signature of Form" and supporting details;

The latter of which is always the most critical in any HPC Review process.

From my understanding to date, there is no specific historic significance as to the dwelling's past occupants, historic use of dwelling nor the structure's overall influence in determining the Historic District's designation.

Neither observed siding or roofing present themselves as original, although the performed probes did confirm a clap board siding with 4" exposure and brick masonry front porch piers which have been minimally parged. The 2 over 2 double hung windows, noted to be in very poor condition have been altered with aluminum storm sash applications.

However, in the matter of "Signature of Form" - the simplicity of the front gable with flared overhangs combined with the dwelling's scale are definitive. The front elevation and covered porch present themselves with a scale, proportion and charm are the structure's strongest assets. An accurate replication through reconstruction, should be the objective here, in my professional opinion, which is based upon well over 50 years of experience with historically significant structures.

In reviewing the proposed architectural scheme, I would suggest that there are various opportunities for minor "refinements" which would reinforce the aforementioned "Signature of Form" and contribute to the goal of historic authenticity.

The following is offered as a list of minor suggestions which would elevate the final project to a stature which will best contribute to the fabric of the Historic District.

Specific Architectural Refinements:

The Architect's presentation perspective drawings are excellent and indeed most helpful in understanding the overall design intent. The drawings clearly reinforce the objective to emulate and be empathetic to the original structure's spirit and integrity. The early concept drawings can be further improved upon by including the following:

- 1. Elevation drawings could incorporate specification of corner boards, which have not yet been indicated. Quarter round beaded detailing (where corner boards meet) are optional, but would bring an added historic element, often found on dwellings of that era.
- 2. Specification and detailing of windows with historic sills in lieu of casing sill aprons at all double hung windows.
- 3. Specification and detailing of all exterior window and door casing at the exterior to be with 5/4 inch material, and the head trim to extend beyond the vertical casing by 1/2 inch at each side, especially at the rear and side elevations where no shutters are proposed.
- 4. Historically, windows of this era were tall and narrow. Window sill height at the first floor tended to be closer to the finished floor at an average of 18 inches while the second floor windows were incrementally shorter than the first floor windows. Some window proportions could be revisited when drawings progress into the construction document phase. Code requirement for egress windows, however, must be maintained where new construction is proposed.
- 5. The architect has already indicated for operating metal hardware at all window shutters which is an admirable addition.
- 6. The upper half or two-thirds of the front door should to be glazed, regardless of the addition of complementary sidelights or transom.
- 7. Lastly, consideration should be given to the type of roof drainage system to be installed. It may have already be considered but is undiscernible from the reduced scale elevation drawings. A half round gutter system, with exposed hangers set at 24 inches on center, is recommended when restoring or reconstruction historic structures, where box gutters are not present. Downspouts should also be cylindrical to complement the suggested period style gutter.

In summary, it is my opinion that the observed existing structural conditions discount any possibility of a front façade renovation. However, the reconstruction of the front elevation, in its scale and form, should be replicated and integrated into the proposed project scope.

The positioning of the door, whether it be to the side center or as shown in the most recent set of plans available to our office, is somewhat inconsequential. Given the proposed addition to the side... the best option appears for a front entry door to be closer to the center of the front elevation, as depicted by the Architect of Record. A door positioned between the addition and original dwelling's front provides a better balance.

The replication of the current architectural front façade form should be the ultimate objective. The reconstruction of the front façade is an opportunity for the continuance of the architectural scale and reinforcement of the aesthetic fabric within the local historic district.

Recommendations:

- 1. Accurately document the existing front façade and covered porch with record As-built existing condition drawings.
- 2. Reconstruct the front façade to the same proportions and height as part of the proposed new dwelling construction.
- 3. Replace existing failed foundation with new concrete block and footings.
- 4. Refine exterior detailing related to siding, window casing and trim to elevate visual historic authenticity.

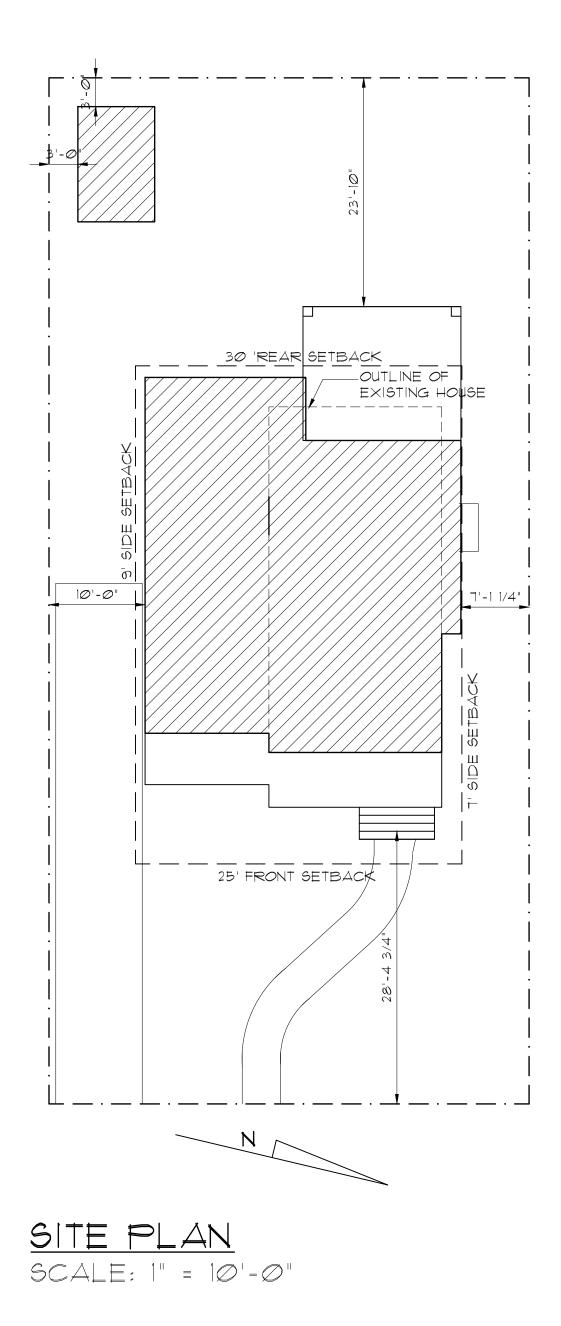
I will be available for further elaboration and to respond to any questions from the HPC.

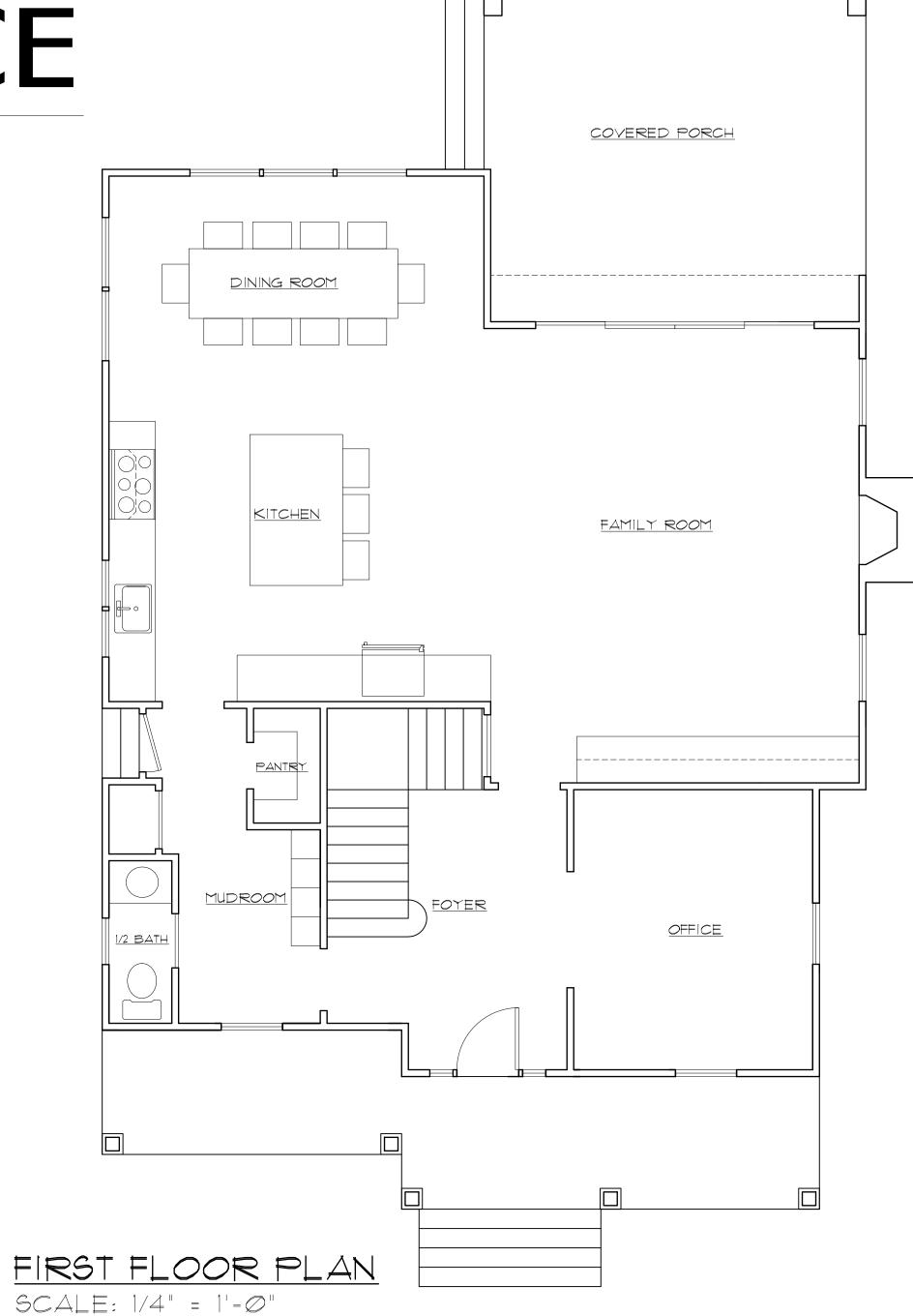
Mark Alexander Pavliv, AIA, CID, NCARB Consulting Architect & Historic Preservation Specialist

PROPOSED PROJECT FOR THE

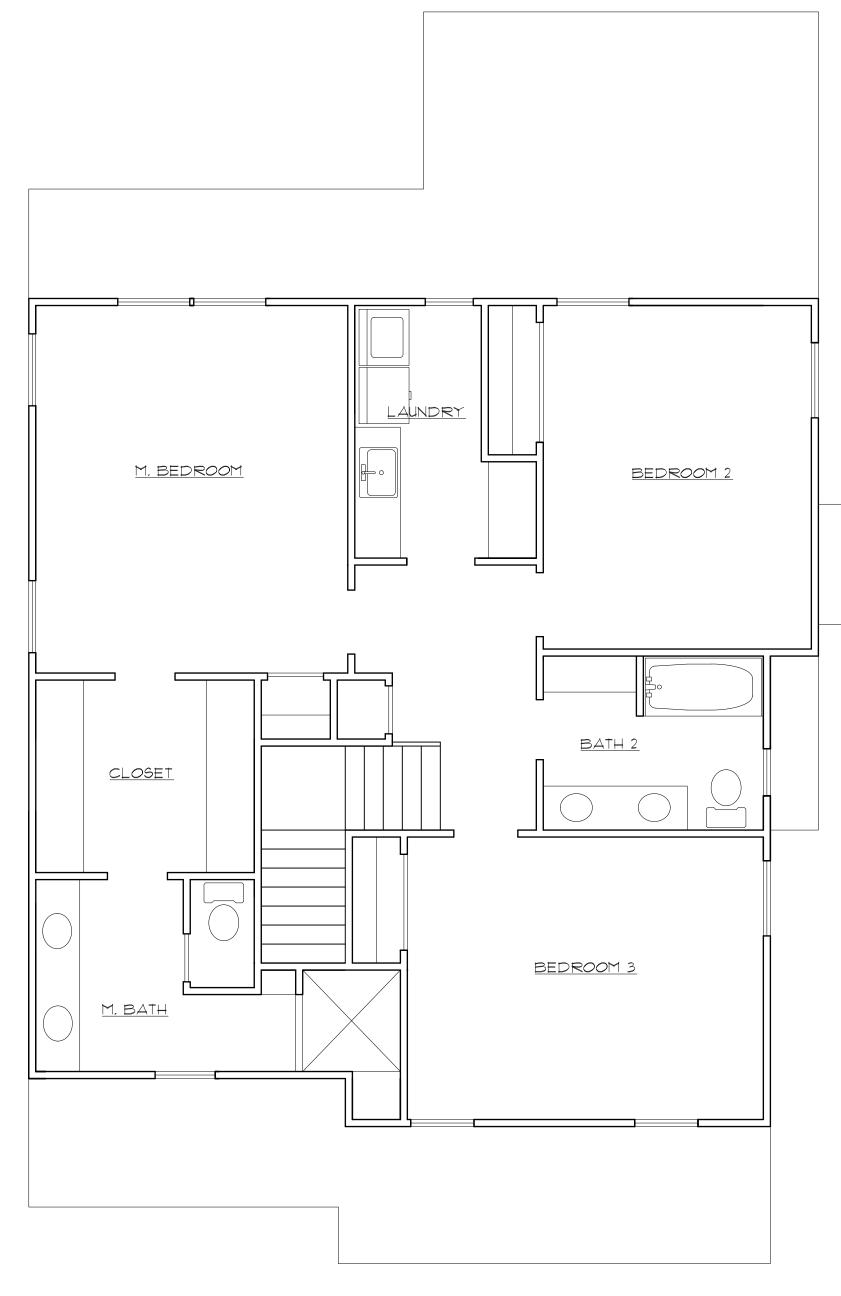
PLEAT RESIDENCE

39 DeNORMANDIE ROAD FAIR HAVEN, NEW JERSEY BLOCK 16 ~ LOT 18









SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

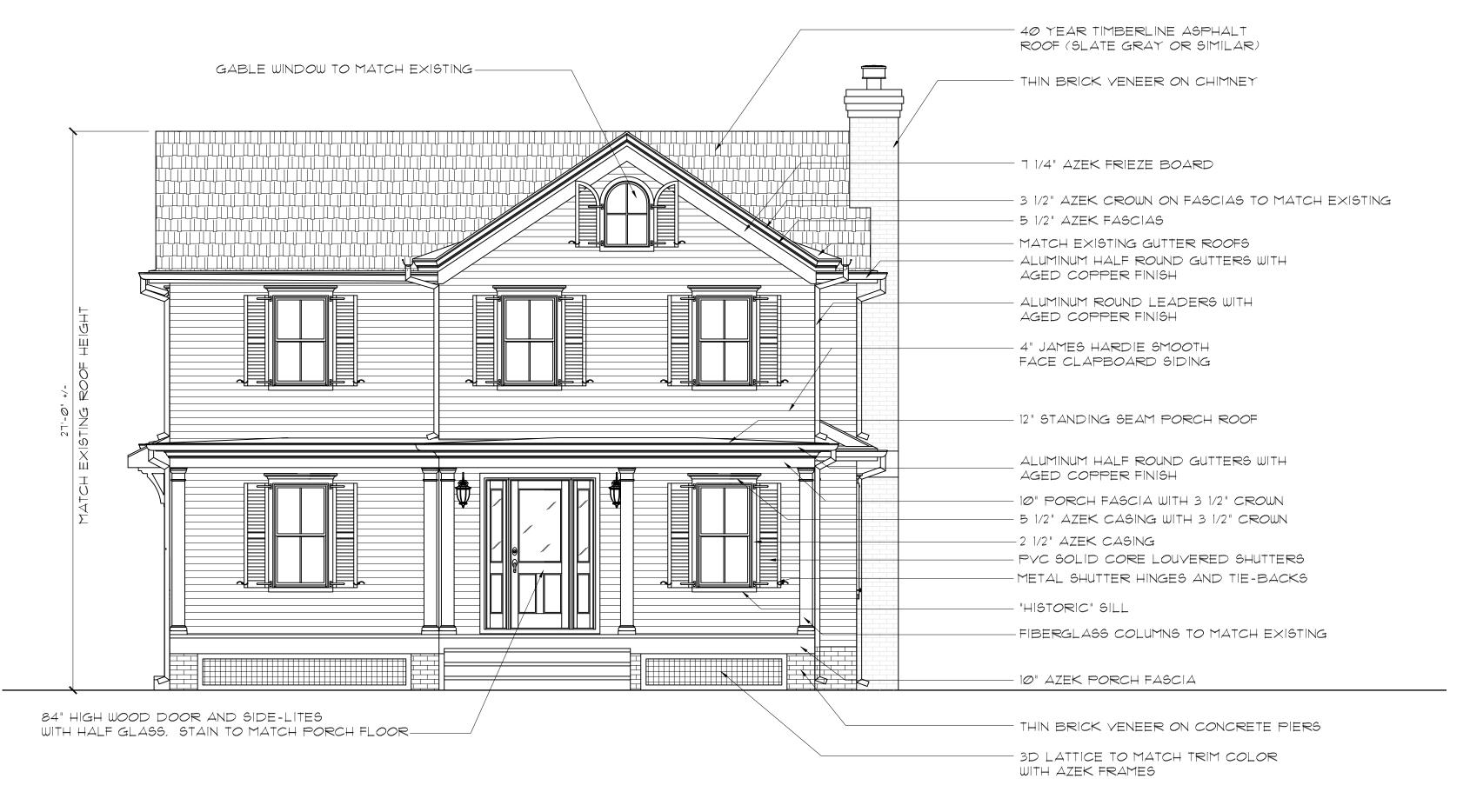


ADDRESS
SODE NORMANDIE
FAIR HAVEN, NEW JERSEY
JOBNUMBER
21-III
X
X

ALLEAT RESIDENCE

ADDRESS
SODE NORMANDIE
FAIR HAVEN, NEW JERSEY
LOT
X
X

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



NOTES:

WINDOWS TO BE ANDERSEN "A" SERIES FIBREX "CANVAS" LIGHT FIXTURES TO BE BLACK POWDER COATED LANTERN TYPE AS SELECTED BY OWNER

PORCH SURFACE TO BE "AZEK" FAUX WOOD TONGUE & GROOVE PORCH CEILING TO BE AZEK TONGUE & GROOVE

FRONT ELEVATION SCALE: 1/4" = 1'-0"





LEFT SIDE ELEVATION SCALE: 3/16" = 1'-0"

REAR ELEVATION SCALE: 3/16" = 1'-0"

RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

S

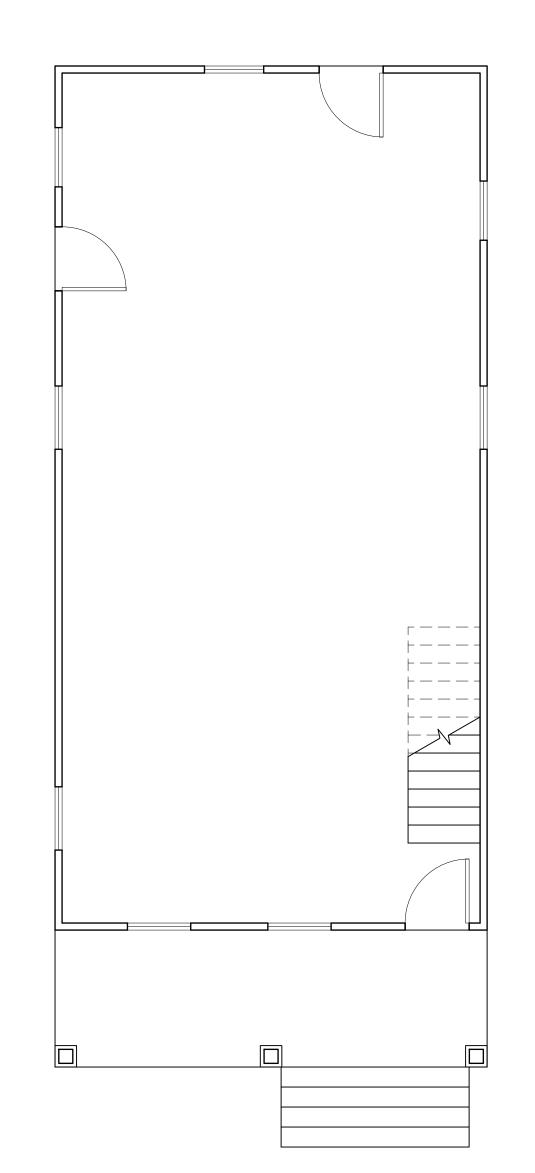
NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



EXISTING FRONT ELEVATION SCALE: 1/4" = 1'-0"



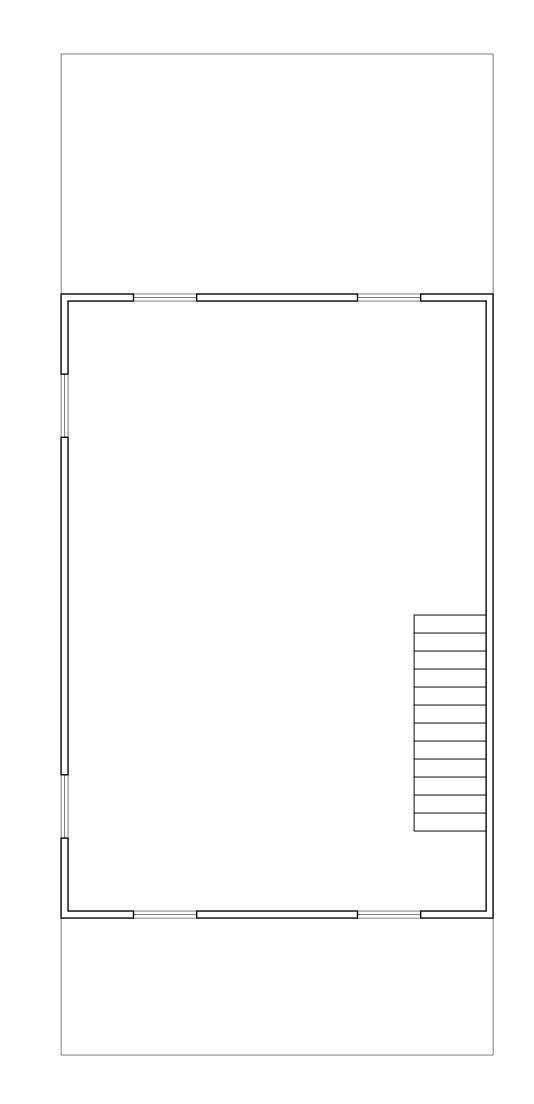
EXISTING REAR ELEVATION SCALE: 3/16" = 1'-0"



EXISTING IST FLOOR SCHEMATIC SCALE: 1/4" = 1'-0"

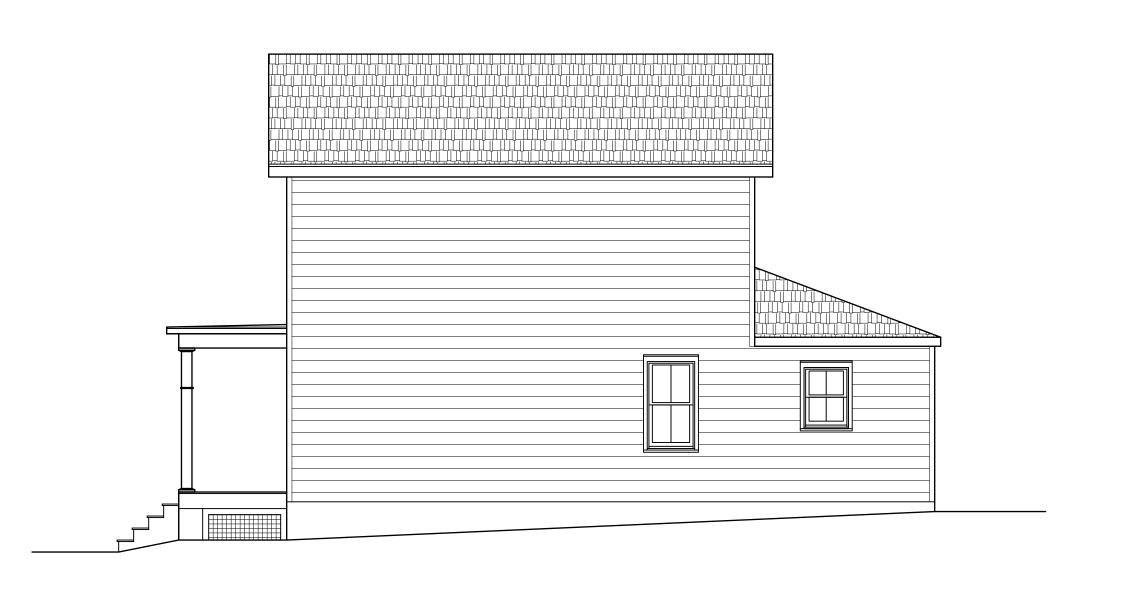


EXISTING NORTH ELEVATION SCALE: 3/16" = 1'-0"



EXISTING 2ND FLOOR SCHEMATIC

SCALE: 1/4" = 1'-0"



NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

EXISTING SOUTH ELEVATION SCALE: 3/16" = 1'-0"



















